

DESIGN NOTES:

INTERNAL ENVIRONMENT

The activity zones, access zones and furniture layouts shown meet the basic standards as noted in Section 6 of the HQI's. Internal Storage

Storage provision MUST at least meet the following minimum requirements:

General normal storage (300 x 1500ht) - 0.75 sq m shelf area per person (min 1.5 sq m);
 General tall (ht over 1500) - min floor area 0.5 sq m;
 Airing cupboard - shelf area 0.4 sq m (inc in above).

Kitchens

The volume capacity must meet the minimum requirement noted on the drawing. The volume figures given are typical (assuming 600mm high wall units) but must be checked against the chosen manufacturers figures (once known). All the fittings noted must be included; some may be in rooms adjacent to the kitchen.

KITCHEN

MINIMUM VOLUME CAPACITY : 1.5 m³
 LENGTH OF FITMENTS : 4930mm

NHF good practice: Only 50% of a corner cupboard to be included when calculating volume capacity or it should be shown as a 300mm overlap (also applies to calculation of length of fitments).

Volumes shown are typical and assume wall units are 600mm high, 300mm deep and 450mm above base units. Actual volumes must be checked with manufacturer.

dining kitchen - recommended area - 10.0 m² (minimum area - 9.0 m²)

galley kitchen - recommended area - 7.0 m²

(minimum area - 5.5 m²)

Additional items of furniture to obtain a higher HQI score in kitchen:

Additional 600mm drawers in bedroom: exceeds by one item
 Additional 1200mm unit: exceeds by more than one item

AREAS:

Given areas are measured from wall finish to wall finish.

REFERENCES:

Housing Quality Indicators v4 (April 2007);
 LTH Standard (July 2010);
 NHF Standards and quality in development (1998 Edition);
 London Housing Design Guide (Interim Edition Aug 2010).

LIFETIME HOMES COMPLIANCE CHECKLIST

CRITERION 1 - PARKING

1A. On Plot parking should provide at least one parking space capable of enlargement to achieve a min. width of 3300mm.
 The layout provides 2 x car parking spaces of which one is 3753mm wide. This also satisfies the requirement for a min 900mm path alongside the parking spaces.

1B. The access route between parking and the communal entrance should maintain a min. clear width of 1200mm.

This is met - the narrowest part of the path between the parking and the core entrance is 1200mm. In places this is exceeded.

CRITERION 2 - APPROACH TO DWELLING FROM PARKING

The layout enables movement between the vehicle and dwelling for the widest range of people Level Access is provided.

CRITERION 3 - APPROACH TO ALL ENTRANCES

The approach to all entrances should preferably be level or gently sloping.
 All entrances provide level access.

CRITERION 4 - ENTRANCES

All entrances should :

- a) Be illuminated
- b) Have level access across the threshold
- c) Have effective clear opening widths and nibs as set out in the Lifetime Homes manual (825mm where access is at right angles to the corridor)
- d) Have adequate weather protection
- e) Have a level external landing

The proposals provide:

- a) LIGHTING NOT YET SPECIFIED
- b) level access across the threshold
- c) 926mm door sets allowing for clear openings of 825mm all with 300mm nibs.
- d) A canopy is provided over the entrance.
- e) No landing required due to level site.

CRITERION 5 - COMMUNAL STAIRS AND LIFT

5A. Communal stairs should have:
 Minimum uniform riser of 170mm
 Uniform going not exceeding 250mm
 Handrails that extend 300mm beyond the top and bottom
 Handrails height 900mm from each nosing.
 Step nosings distinguishable through contrasting brightness.
 Risers which are not open.
 5B. LIFTS:
 Have a minimum internal dimension of 1400mm x 1100mm.
 Have clear landings adjacent to the lift entrance of 1500mm x 1500mm

5A & 5B. As dimensioned on drawings, criterion is met. Criterion will form part of manufacturers detail brief to ensure finishes are compliant.

CRITERION 6 - INTERNAL DOORWAYS AND HALLWAYS

Hallway widths - The minimum width of any hallway to be 900mm. May reduce to 750mm at pinch points. Doorway clear openings to be minimum of 750mm where 'head on' approach.

All doors shown as 926mm doorsets allowing 850mm clear opening. All doorways allow a nib of 300mm to leading edge.

CRITERION 7 - CIRCULATION SPACE

Living / dining rooms should have a clear turning circle of 1500mm diameter / ellipse of 1700mm x 1400mm. Coffee tables and side tables may be within these zones,
 750mm clear width route to windows.
 Kitchens should have clear 1200mm between kitchen fronts.
 Bedrooms should be capable of having 750mm clear space at both sides and at the foot of a standard double bed.

All turning circles and movement zones as illustrated upon plans. Kitchens exceed minimum requirements and fulfil good practice recommendations where a continuous run of units are provided, windows do not impede hob position, 1500mm diameter circle also accommodated.

CRITERION 8 - ENTRANCE LEVEL LIVING SPACE

A living room / living space should be provided on the entrance level of every dwelling.

All dwellings are flats and are over one storey, all providing a living space.

CRITERION 9 - POTENTIAL FOR ENTRANCE LEVEL BED-SPACE

In dwellings with two or more storeys, with no permanent bedroom on the entrance level, there should be space on the entrance level that could be used as a convenient temporary bed-space.

Not applicable to Church Road proposals.

CRITERION 10 - ENTRANCE LEVEL WC AND SHOWER DRAINAGE

Where an accessible bathroom is not provided on the entrance level of a dwelling, the entrance level should have an accessible WC compartment with potential for a shower to be installed.

N/A as all apartments provide an accessible entrance level bathroom.

CRITERION 11 - WC AND BATHROOM WALLS

Walls in all bathrooms and WC compartments should be capable of firm fixing and support for adaptations such as grab rails.

All walls when detailed for building regulations sign off to show 2 x layers of 12.5mm plasterboard to support fixings of grabrails at any location.

CRITERION 12 - STAIRS AND POTENTIAL THROUGH-FLOOR LIFTS IN DWELLINGS

The design within a dwelling of two or more storeys should incorporate both:
 a) Potential for stair lift installation; and
 b) A suitable identified space for a through-floor lift from the entrance level to a storey containing a main bedroom and a bathroom.

Not applicable to Church Road proposals - all single storey flats.

CRITERION 13 - POTENTIAL FOR FITTING OF HOISTS AND BEDROOM / BATHROOM RELATIONSHIPS

Structure above main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom.

Hoist route illustrated upon type plans.

CRITERION 14 - BATHROOMS

An accessible bathroom, providing ease of access in accordance with the specification below, should be provided in every dwelling on the same storey as the main bedroom.
 WC with centreline between 400-500mm from an adjacent wall. An approach with at least 350mm from WC's centreline towards the adjacent wall and 1000mm from the WC's centreline on the other side. Basin should not project into this approach zone by more than 200mm. Basin to have clear frontal approach of 700mm wide by 1100mm clear from any obstruction under the basin's bowl.
 Bath with a clear zone alongside bath of at least 1100mm by 700mm.
 Floor drainage for an accessible shower with a floor construction that provides either shallow falls to the floor drainage or that allows simple and easy provision of a laid-to-fall floor surface in the future. An outward opening door will be required to satisfy Approved Document M if the bathroom contains the only accessible entrance level WC within the dwelling.

Movement and activity circles as illustrated within type plan drawings.

CRITERION 15 - GLAZING AND WINDOW HANDLE HEIGHTS

Windows in the principle living space should allow people to see out when seated - include glazing that starts no higher than 800mm above floor level. There should be an approach route 750mm wide.

As illustrated. Key livingroom windows provide floor to ceiling window for clear view whilst seated.

CRITERION 16 - LOCATION OF SERVICE CONTROLS

Service controls should be within height band of 450mm to 1200mm from the floor and least 300mm from any internal corner.

This shall be adhered to upon RIBA Stage 4 commencement.

1B2P
50.0 m²
538.2 ft²

CDM Regulations 2007
 ALL current drawings and specifications for the project must be read in conjunction with the Designer's Hazard and Environmental Assessment Record.

notes

- The contractor is responsible for checking dimensions, tolerances and references.
- Any discrepancy to be verified with the Architect before proceeding with the works.
- Where an item is covered by drawings to different scales the larger scale drawing is to be worked to.
- Do not scale drawing. Figured dimensions to be worked to in all cases.

LDHG 4.4.1

Living / Kitchen Dining for 2 persons
 occupancy min. area = 23 sq m.

23.8 sq m achieved

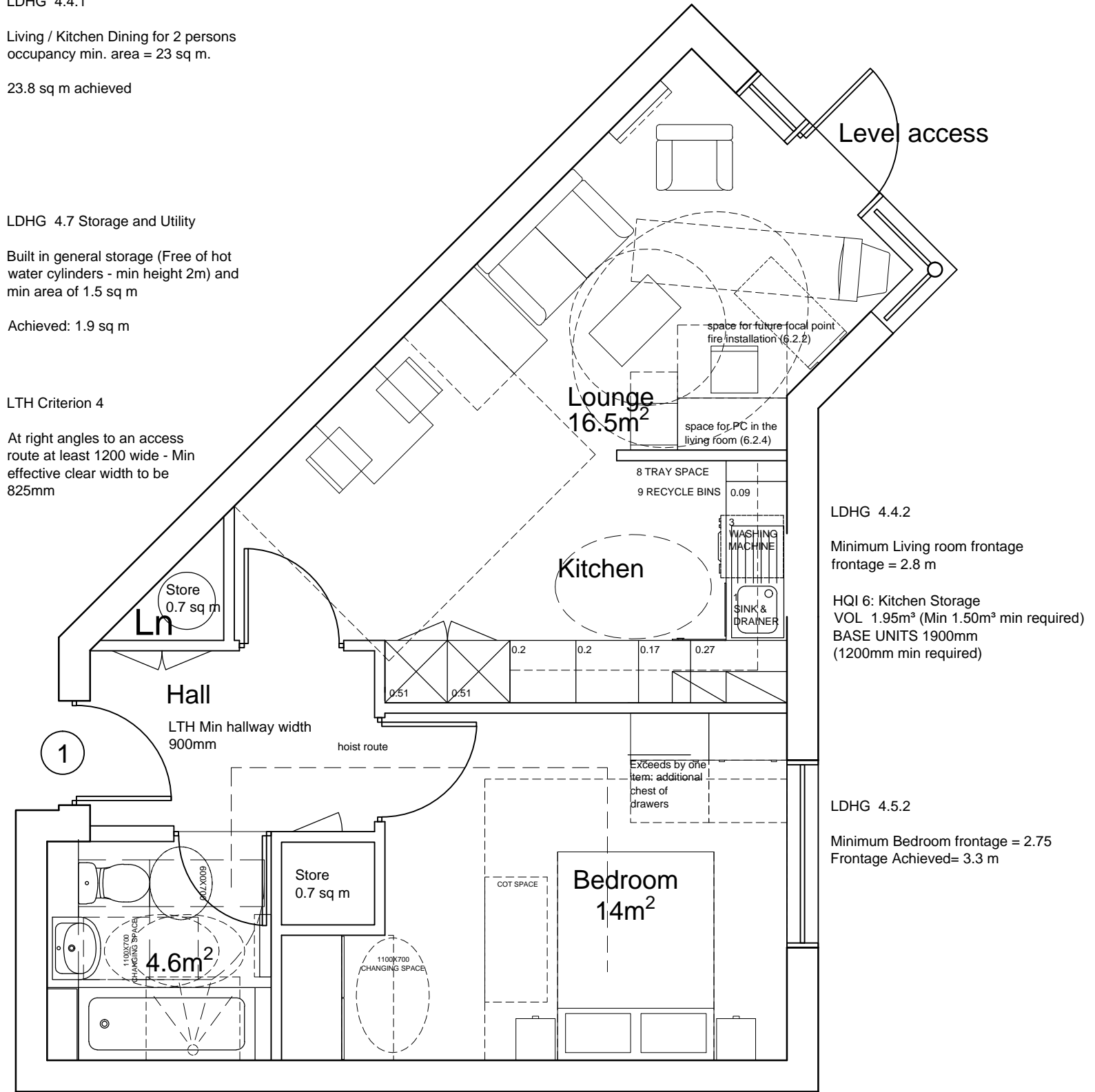
LDHG 4.7 Storage and Utility

Built in general storage (Free of hot water cylinders - min height 2m) and min area of 1.5 sq m

Achieved: 1.9 sq m

LTH Criterion 4

At right angles to an access route at least 1200 wide - Min effective clear width to be 825mm



LDHG 4.4.2

Minimum Living room frontage
 frontage = 2.8 m

HQI 6: Kitchen Storage
 VOL 1.95m³ (Min 1.50m³ min required)
 BASE UNITS 1900mm
 (1200mm min required)

LDHG 4.5.2

Minimum Bedroom frontage = 2.75
 Frontage Achieved = 3.3 m

date	rev	revision/author/checker	drawn	project	purpose of issue
			checked	AP3967 CHURCH ROAD TYPE PLAN B	FOR PLANNING
			scale @ A3	drawing	LIFETIME HOMES / LDHG AUDIT
			date		drawing no
					AP3967_2006_02
					rev
					-
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