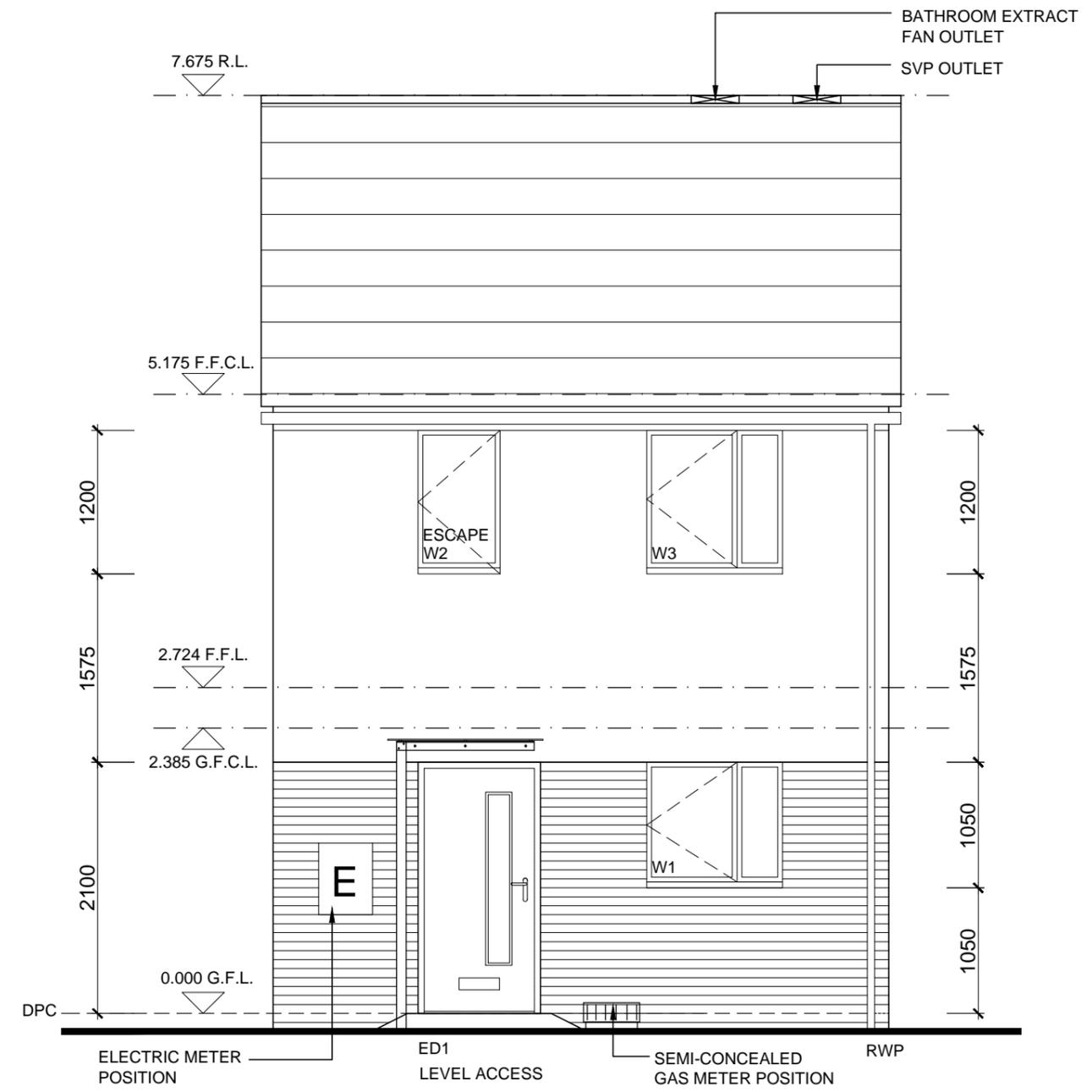


NOTE:  
 CODE FOR SUSTAINABLE HOMES LEVEL 3  
 MUST BE ACHIEVED FOR ALL HOUSE  
 TYPES WITHIN THE DEVELOPMENT.

**MATERIAL KEY**

-  Brickwork
-  Render
-  Hardiplank



PROVIDE 1200MM LEVEL PLATFORM OUTSIDE FRONT DOOR COMBINED WITH A LEVEL, RAMPED OR STEPPED APPROACH ALL IN ACCORDANCE WITH APPROVED DOCUMENT M SECTION 6 - REFER TO SPECIFICATION FOR DIMENSIONAL CRITERIA.

DO NOT SCALE  
 All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement

DESIGNERS RISK ASSESSMENT  
 under section 13 - Construction (Design and Management) Regulations 1994  
 RESIDUAL RISKS

REF:	DESCRIPTION	DATE:
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A. EXCAVATIONS 28.03.14

THESE WORKS ARE NOT SEEN AS PARTICULARLY HAZARDOUS FOR SKILLED TRADESMEN PROVIDING THAT ESTABLISHED GOOD PRACTICE AND PROCEDURES ARE ADOPTED

ENSURE ALL OPERATIVES KNOW THE LOCATION OF ALL EXTG. AND INCOMING SERVICES

ALL DEEP EXCAVATIONS TO BE SUITABLY PROTECTED FROM FALLING+COLLAPSE.

B. WASTE/TRIP HAZARDS 28.03.14

REMOVE ALL WASTAGE AND MAINTAIN CLEAR SITE FREE FROM TRIP HAZARDS.

C. LIFTING 28.03.14

CARE AND ATTENTION TO BE GIVEN TO ALL MECHANICAL LIFTING AND PLACING OF BEAMS, MATERIALS, ETC. NO TRADES TO BE WORKING BELOW.

WHERE CRANING IS IN OPERATION A BANKS MAN IS TO BE IN ATTENDANCE.

D. FIRE RISK 28.03.14

ALL HOT WORKS TO BE KEPT TO A MINIMUM.

REVISION	DATE	DESCRIPTION	CHECKED
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JOB / CLIENT  
 SAXON WAY / STANLEY STREET, JARROW FOR SOUTH TYNESIDE HOMES

DRAWING TITLE  
 2B4P  
 FRONT ELEVATION - VARIANT 1

PROJECT ARCHITECT: RM      DRAWN BY: MF      CHECKED:

SCALE: 1:50      PROJECT NO. N82:07      DRAWING NO. 2B4P-12

DRWG. STATUS	DRAFT	CONSULTATION	TENDER	CONSTRUCTION	RECORD
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